

Up-fit & Addition for: Town Of Edisto 2418 Murray St. Edisto Island, SC 29438

THIS IS A PRELIMINARY DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF EDISTO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF EDISTO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF EDISTO.

GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS.
- MECHANICAL, ELECTRICAL, AND PLUMBING WORK REQUIRED ON THIS PERMIT APPLICATION TO BE PERFORMED BY SUBCONTRACTORS LICENSED IN THE STATE AND MUNICIPALITY IN WHICH WORK IS BEING PERFORMED.
- SUBCONTRACTORS SHALL PROVIDE CERTIFICATION OF GENERAL LIABILITY INSURANCE AND WORKMAN'S COMPENSATIONS COVERAGE, AS REQUIRED BY THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE AND/OR OBTAIN ALL BUILDING PERMITS REQUIRED FOR CONSTRUCTION AND CERTIFICATES OF OCCUPANCY.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASPECTS OF SAFETY DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
- ALL DIMENSIONS AND SITE CONDITIONS TO BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE.
- ALL DETAILS, SECTIONS, NOTES, OR REFERENCES TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER AND OBTAIN APPROVAL FROM THE GOVERNING BUILDING OFFICIAL BEFORE PROCEEDING WITH THE WORK.
- THE MANUFACTURERS, PRODUCTS AND EQUIPMENT LISTED ESTABLISH PERFORMANCE REQUIREMENTS. SUBSTITUTIONS OF EQUAL PERFORMANCE MAY BE SUBMITTED TO THE DESIGNER FOR APPROVAL.
- ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS, SPECIFICATIONS, AND WARRANTY REQUIREMENTS UNLESS OTHERWISE SPECIFIED BY THE DESIGNER.
- SPECIFIC NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- ALL WORK SHALL BE EXECUTED IN A SKILLED MANNER WITH REGARD TO CUTS, JOINTS, PLACEMENT OF FASTENERS, PLUMBNESS, LEVELNESS, ALIGNMENT, PREPARATION, AND FINISH.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE COMPATIBILITY OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- DRAWINGS ARE NOT INTENDED TO BE SCALED.

B. SCOTT COOK AIBDSC
B. Scott Cook
TITLE: PROFESSIONAL BUILDING DESIGNER

SIGNATURE MUST APPEAR IN RED INK. IF NOT THIS IS AN ILLEGAL COPY AND SHOULD BE REPORTED TO COOK DESIGN STUDIO (843)-782-4077. COOK DESIGN STUDIO INC. ASSUMES NO LIABILITY FOR ANY CHANGES MADE TO THESE PLANS BY OTHERS. THIS DRAWING IS THE PROPERTY OF COOK DESIGN STUDIO INC. AND CANNOT BE USED WITHOUT WRITTEN CONSENT.

SHEET INDEX:	
ID	NAME
C5	COVER SHEET
A1	EXISTING FLOOR PLAN
A2	FOUNDATION PLAN & FLOOR PLAN
	FRONT & LEFT ELEVATION
A3	STRUCTURAL DETAILS

PROJECT DESCRIPTION

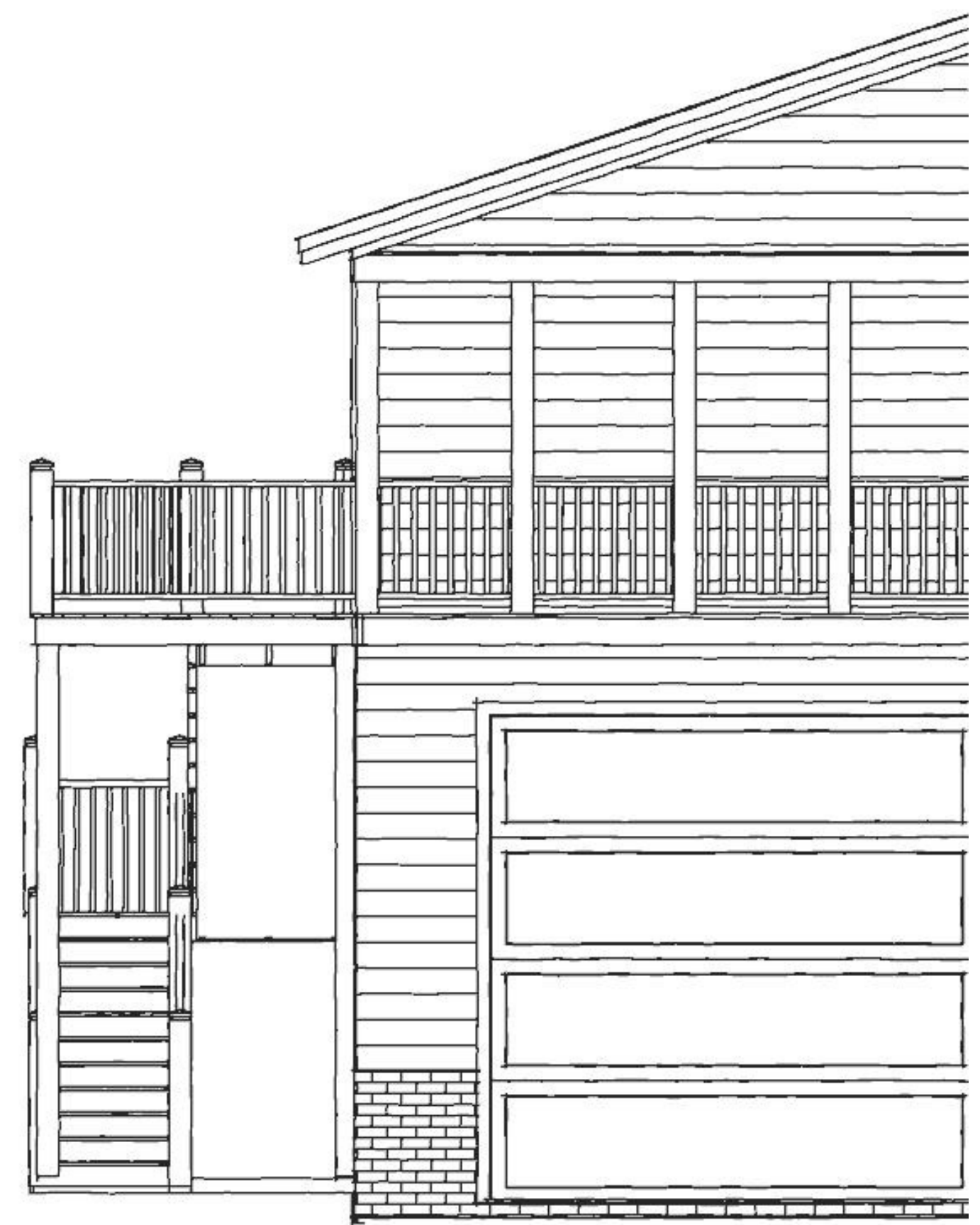
SUMMARY:
THESE DOCUMENTS DESCRIBE AN UP-FIT & ADDITION BEING BUILT.

OWNER:
TOWN OF EDISTO
2418 MURRAY ST.
EDISTO ISLAND, SC 29438

DESIGNER:
B. SCOTT COOK, AIBDSC
COOK DESIGN STUDIO, INC.
113 E WASHINGTON ST.
WALTERBORO, SC 29488
(843) 908-3396

ENGINEER:
CHARLES S. BRIGHTWELL, P.E.
BRIGHTWELL ENGINEERING
318 LYNWOOD ROAD
WALTERBORO, SC 29488
(843) 584-1082

CONTRACTOR:



CONCEPTUAL RENDERING
N.T.S.

DESIGN CRITERIA	SQUARE FOOTAGE																																																						
<p>DESIGN CODE: ICC 600 & 2018 IRC & IBC 2018 & ASCE7-16</p> <p>SCOPE OF WORK: ADDITION</p> <p>OCCUPANCY GROUP: R-3</p> <p>CONSTRUCTION TYPE: VB</p> <p>FIRE PROTECTION SYSTEMS: NO</p> <p>ACTUAL AREA: 102 SQ. FT.</p> <p>HEIGHT: N/A</p> <p>NUMBER OF STORIES: 1</p> <p>FLOOD ZONE: X</p>	<p>1st FLOOR = N/A SQ. FT.</p> <p>2nd FLOOR = N/A SQ. FT.</p> <p>ADDITION = N/A SQ. FT.</p> <p>TOTAL HEATED = N/A SQ. FT.</p> <p>BONUS ROOM = N/A SQ. FT.</p> <p>GARAGE/STORAGE = N/A SQ. FT.</p> <p>CARPORIT/STORAGE = N/A SQ. FT.</p> <p>PORCH/DECK = 102 SQ. FT.</p> <p>TOTAL AREA = 102 SQ. FT.</p>																																																						
<p>1. FLOOR DEAD LOADS:</p> <p>PARTITIONS 20 PSF</p> <p>FIXED EQUIPMENT ACTUAL WEIGHT</p> <p>FINISHES ACTUAL WEIGHT</p> <p>2. FLOOR LIVE LOADS:</p> <p>LIVING ROOMS 40 PSF</p> <p>SLEEPING ROOMS 40 PSF</p> <p>ATTIC W/ STORAGE 20 PSF</p> <p>ATTIC W/O STORAGE 10 PSF</p> <p>DECKS 40 PSF</p> <p>BALCONIES 60 PSF</p> <p>GUARDRAILS & HANDRAILS 200#</p> <p>3. ROOF DEAD LOAD: TOTAL 15.0 PSF</p> <p>ROOFING 2.0 PSF</p> <p>DECKING 2.0 PSF</p> <p>INSULATION 1.0 PSF</p> <p>FRAMING 5.0 PSF</p> <p>CEILING 5.0 PSF</p> <p>4. ROOF LIVE LOADS: 20 PSF</p> <p>5. ROOF SNOW LOAD: 5.0 PSF GROUND</p> <p>6. WIND EXPOSURE: D</p> <p>7. BASIC WIND SPEED: 150</p> <p>8. SEISMIC CRITERIA</p> <p>SITE CLASS: D</p> <p>DESIGN CATEGORY: D1</p> <p>9. THE DESIGN SOIL BEARING PRESSURE IS PSF 2000 (ASSUMED)</p>	<p>WINDOW AND DOOR DESIGN PRESSURE RATINGS PER 2018 INTERNATIONAL RESIDENTIAL CODE</p> <p>DESIGN PRESSURE VALUES LISTED IN THE TABLE ARE IN POUNDS PER SQUARE FOOT (PSF)</p> <p>BASIC WIND SPEED: 150 MPH</p> <p>MEAN ROOF HEIGHT (MRH) INLAND LOCATION (EXPOSURE "B")</p> <table border="1"> <thead> <tr> <th>(MRH)</th> <th>ZONE (4)</th> <th>ZONE (5)</th> </tr> </thead> <tbody> <tr><td>15'</td><td>DP 35</td><td>DP 45</td></tr> <tr><td>20'</td><td>DP 35</td><td>DP 45</td></tr> <tr><td>25'</td><td>DP 35</td><td>DP 45</td></tr> <tr><td>30'</td><td>DP 35</td><td>DP 45</td></tr> <tr><td>35'</td><td>DP 35</td><td>DP 45</td></tr> <tr><td>40'</td><td>DP 40</td><td>DP 45</td></tr> <tr><td>45'</td><td>DP 40</td><td>DP 50</td></tr> <tr><td>50'</td><td>DP 40</td><td>DP 50</td></tr> </tbody> </table> <p>MEAN ROOF HEIGHT (MRH) OCEAN/MARSH LOCATION (EXPOSURE "D")</p> <table border="1"> <thead> <tr> <th>(MRH)</th> <th>ZONE (4)</th> <th>ZONE (5)</th> </tr> </thead> <tbody> <tr><td>15'</td><td>DP 40</td><td>DP 50</td></tr> <tr><td>20'</td><td>DP 45</td><td>DP 50</td></tr> <tr><td>25'</td><td>DP 45</td><td>DP 50</td></tr> <tr><td>30'</td><td>DP 50</td><td>DP 55</td></tr> <tr><td>35'</td><td>DP 50</td><td>DP 55</td></tr> <tr><td>40'</td><td>DP 50</td><td>DP 65</td></tr> <tr><td>45'</td><td>DP 55</td><td>DP 65</td></tr> <tr><td>50'</td><td>DP 55</td><td>DP 65</td></tr> </tbody> </table>	(MRH)	ZONE (4)	ZONE (5)	15'	DP 35	DP 45	20'	DP 35	DP 45	25'	DP 35	DP 45	30'	DP 35	DP 45	35'	DP 35	DP 45	40'	DP 40	DP 45	45'	DP 40	DP 50	50'	DP 40	DP 50	(MRH)	ZONE (4)	ZONE (5)	15'	DP 40	DP 50	20'	DP 45	DP 50	25'	DP 45	DP 50	30'	DP 50	DP 55	35'	DP 50	DP 55	40'	DP 50	DP 65	45'	DP 55	DP 65	50'	DP 55	DP 65
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NO.	DATE	REVISIONS
1		

COOK DESIGN STUDIO, INC.

MEMBER
AIBD
AMERICAN INSTITUTE OF BUILDING DESIGN

PREPARED FOR:
Town Of Edisto
2418 Murray St.
Edisto Island, SC 29438

DATE: 5-24-2021

SCALE: N.T.S.

DESIGNED BY: BSC

CHECKED BY: CSB

JOB #: 4904-314-2021

SHEET #:
CS
SHEETS

CHARLES S. BRIGHTWELL, P.E.
318 LYNWOOD ROAD
WALTERBORO, SC 29488

The certification contained herein is for the structural design elements only.

THIS IS A PRELIMINARY PLAN. THE PROFESSIONAL SEAL OF THE ARCHITECT IS NOT APPLICABLE TO THIS DRAWING. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE STRUCTURAL ELEMENTS OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE STRUCTURAL ELEMENTS OF THE PROJECT.

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MEMBER
A I B D
AMERICAN INSTITUTE OF BUILDING DESIGN

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Edisto Island, SC 29438**

DATE: 5-24-2021

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CHECKED BY: CSB

JOB #: 4904-314-2021

SHEET #:

A1
SHEETS



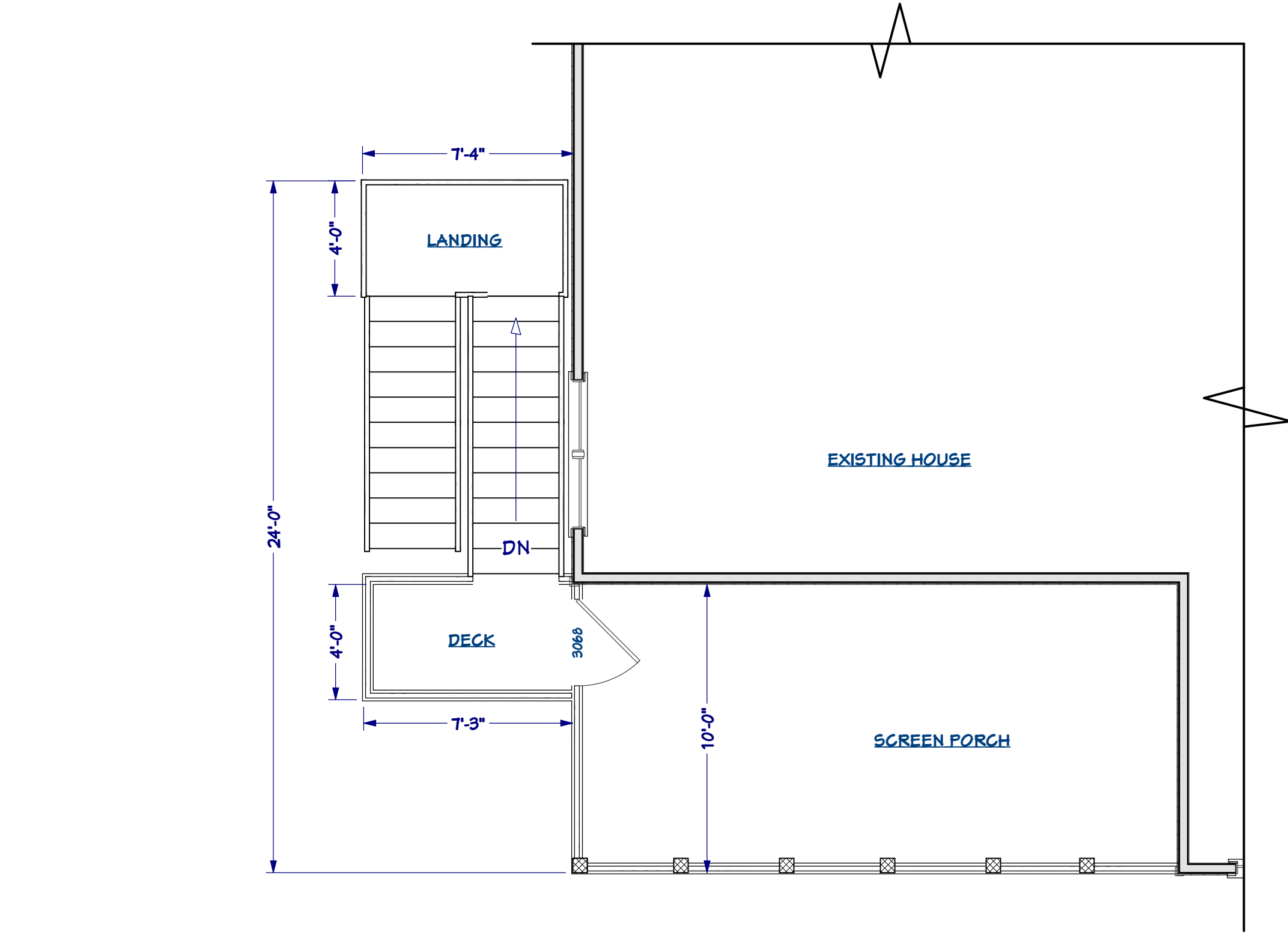
EXISTING ELEVATION



EXISTING ELEVATION



EXISTING ELEVATION



EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"

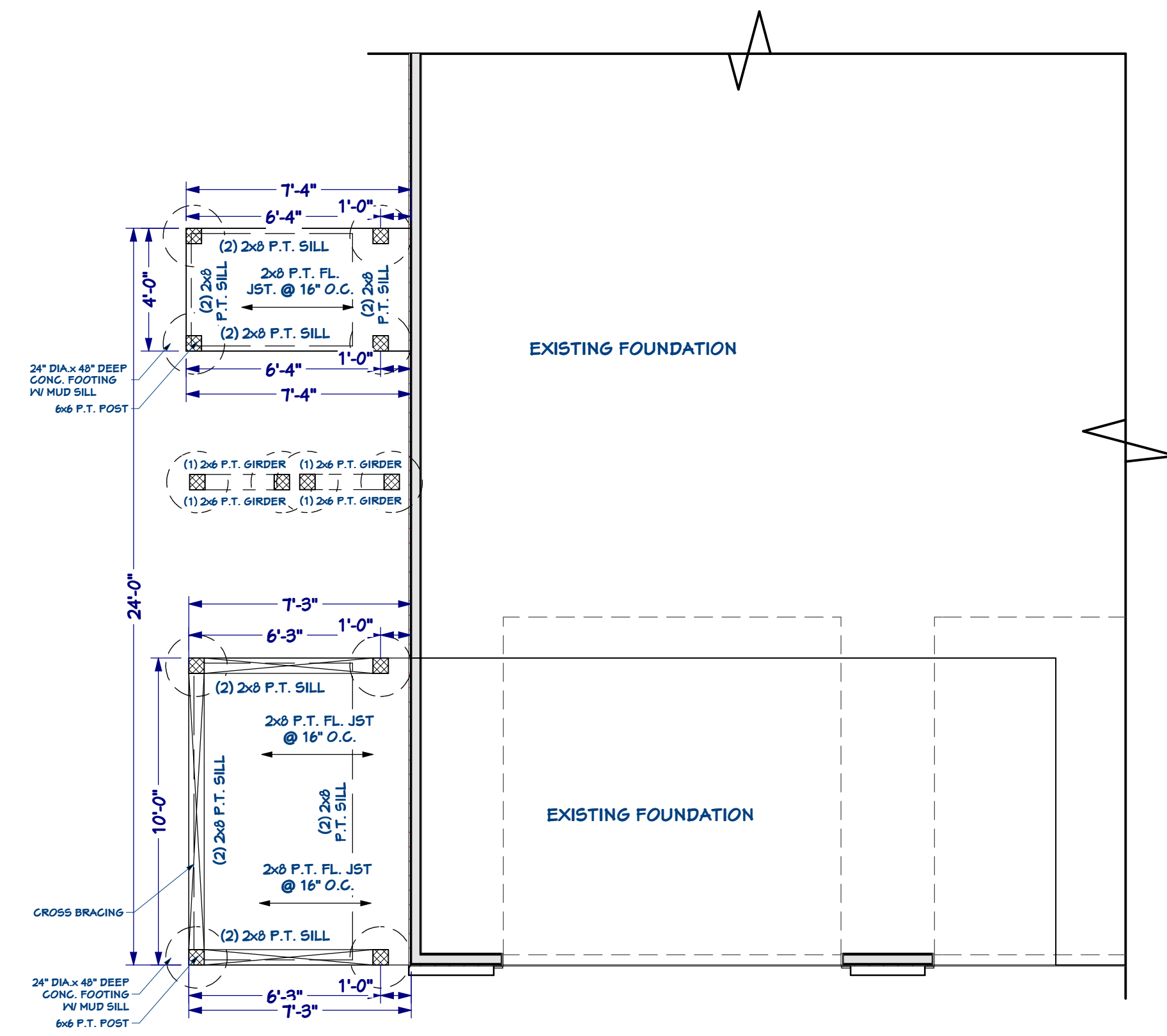
NOTE: ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND ANY DISCREPANCIES SHALL BE REPORTED TO COOK DESIGN STUDIO, INC. FOR JUSTIFICATION AND / OR CORRECTIONS. BUILDER/HOMEOWNER SHALL ASSUME LIABILITY FOR ERRORS THAT ARE NOT REPORTED. THE INFORMATION CONTAINED IN THESE PLANS ARE LIMITED TO THE OBSERVATION OF THE INFORMATION AND CONDITIONS AS PROVIDED BY YOU THE HOME OWNER. COOK DESIGN STUDIO, INC. ASSUMES NO LIABILITY FOR ANY CHANGES OF MODIFICATIONS MADE TO THESE PLANS IN WHOLE OR PART.

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing, Cook Design Studio, Inc. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

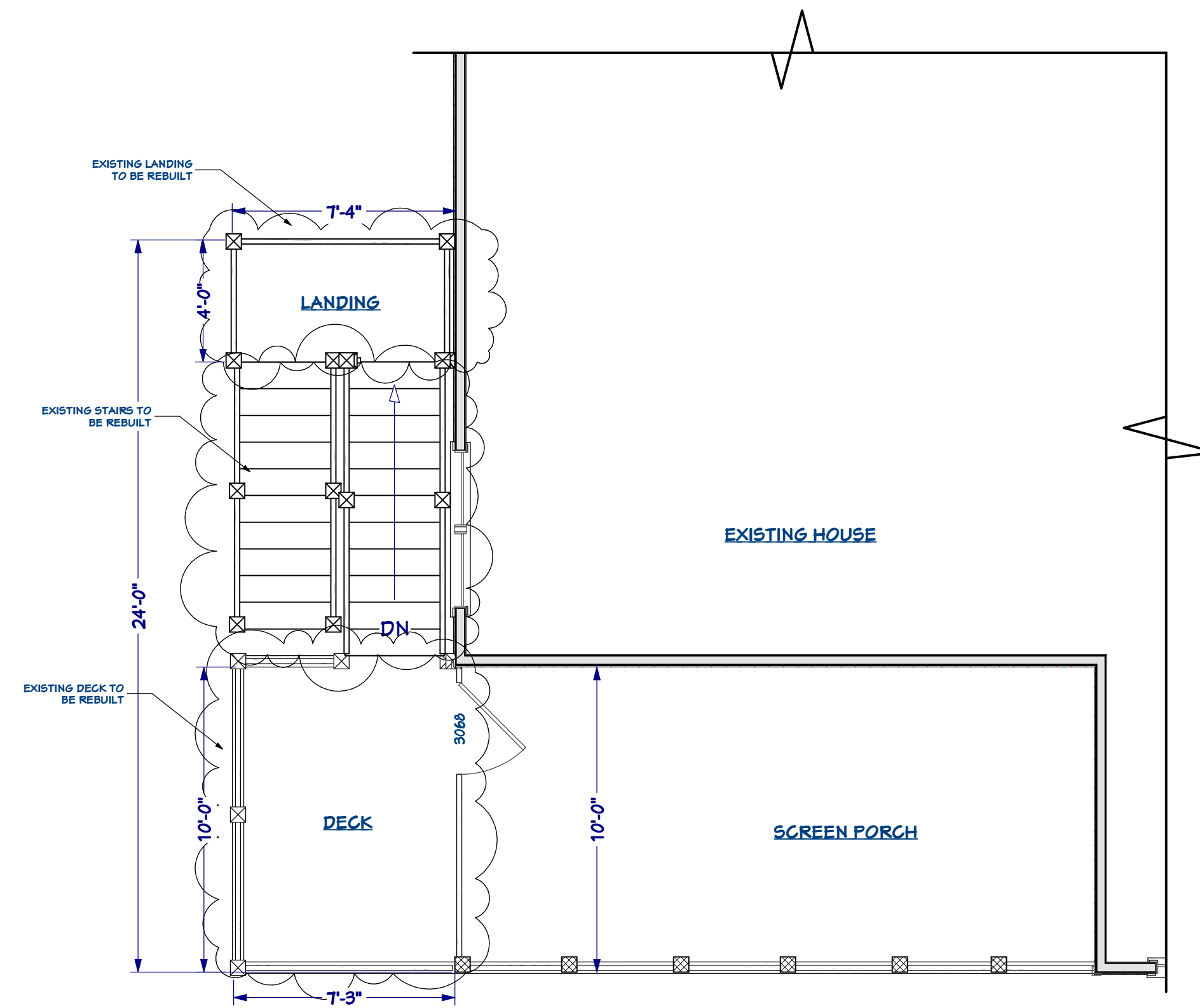
Homeowner will take the necessary precautions to remove or relocate items of value to be reused and/or saved, or in any danger or being damaged due to construction process. Contractor shall verify all dimensions and conditions on site before construction begins. Any discrepancies shall be reported to Cook Design Studio, Inc. for corrections before proceeding with construction. Contractor and/or owner shall assume responsibility for errors that are not reported.



CHARLES S. BRIGHTWELL, P.E.
318 LYNWOOD ROAD
WALTERBORO, SC 29488



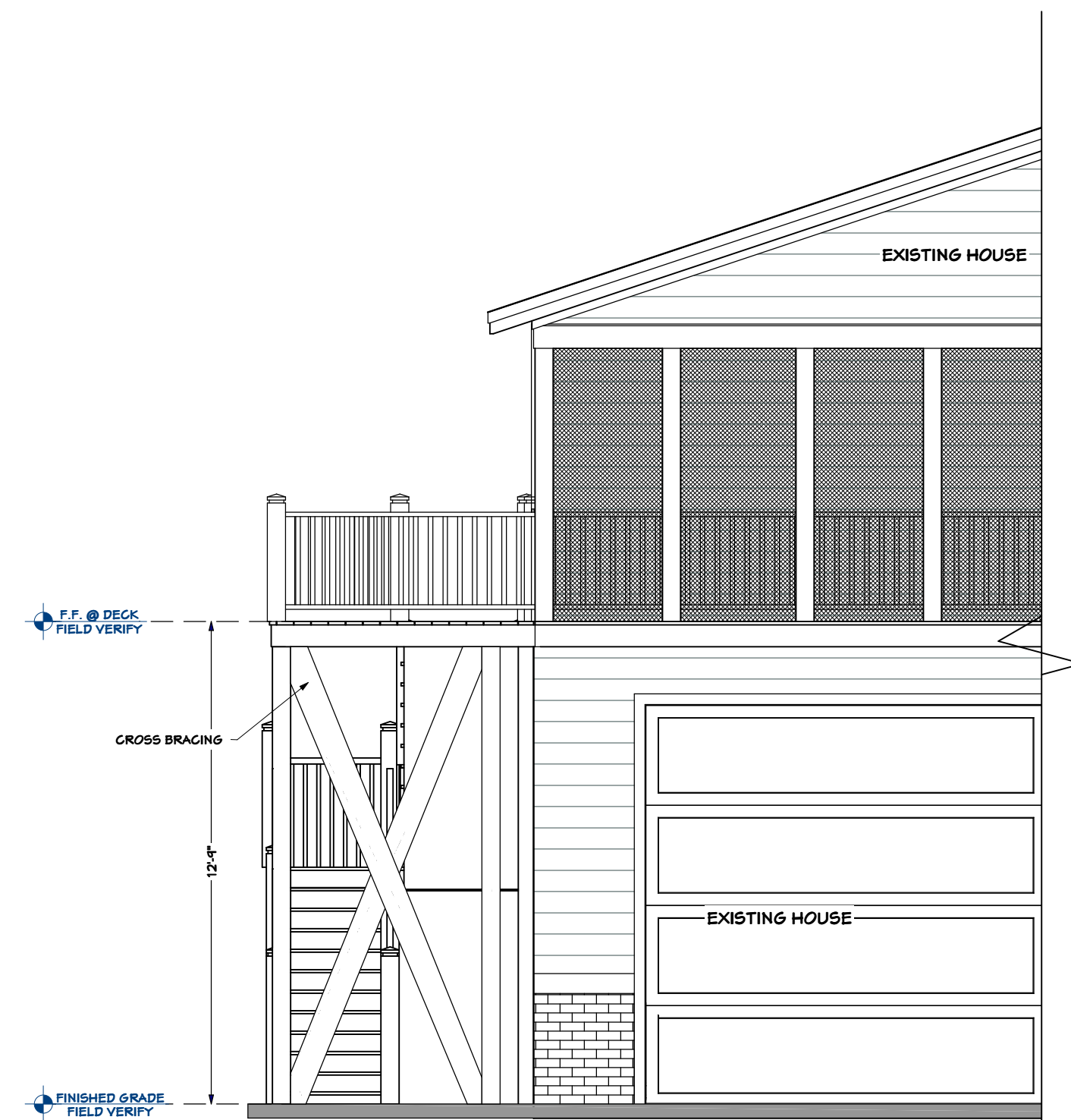
FOUNDATION PLAN
SCALE: 1/4"=1'-0"



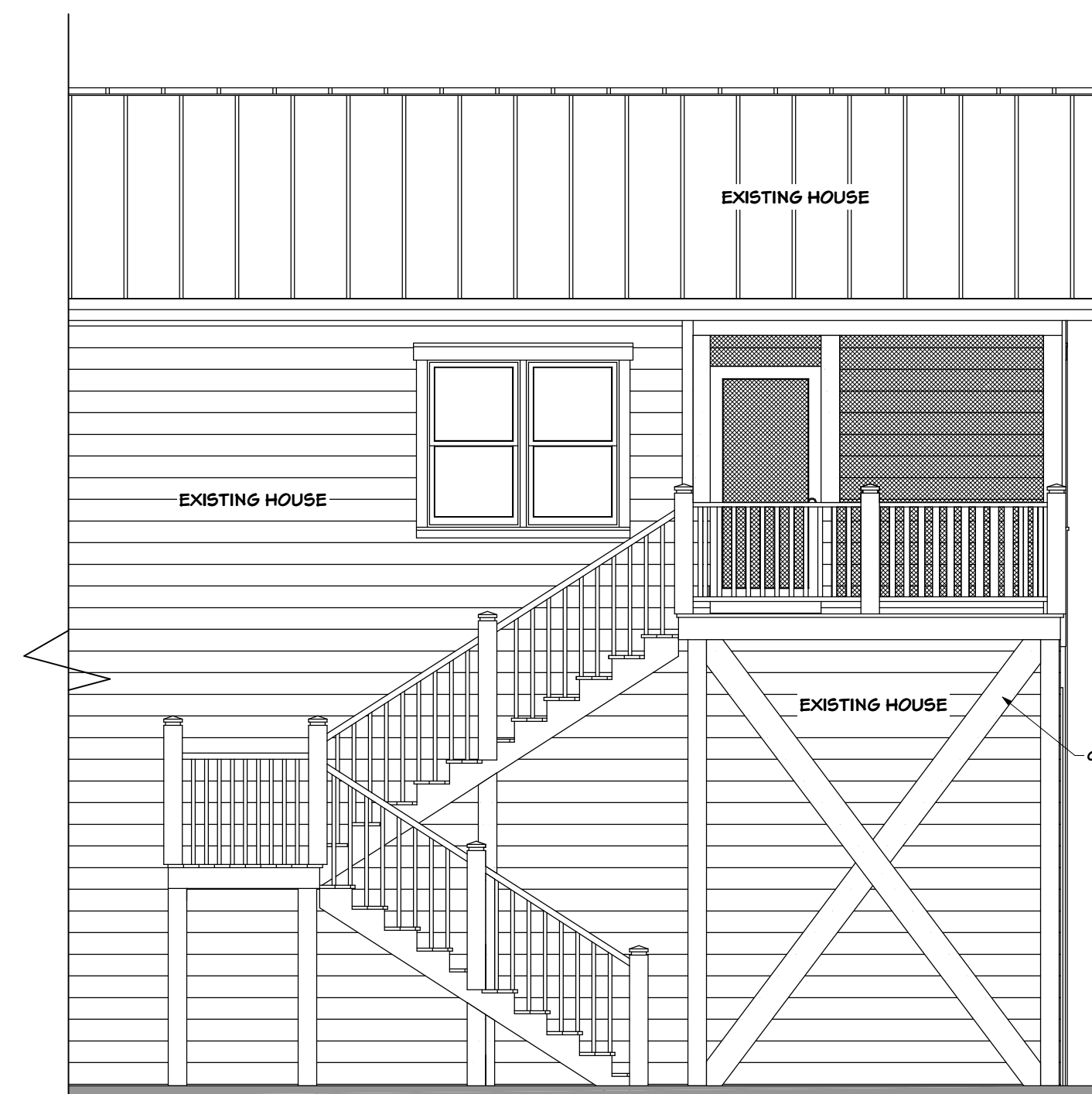
PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

NOTE: 5/4 P.T. DECKING ON ALL DECKS, LANDINGS, & TREADS

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FRONT ELEVATION
SCALE: 1/4"=1'-0"



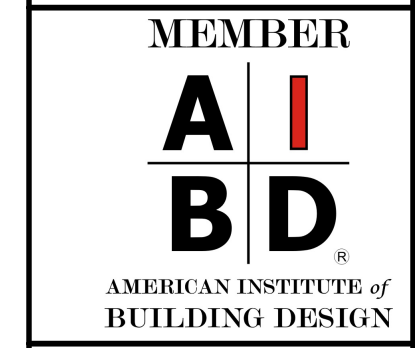
LEFT ELEVATION
SCALE: 1/4"=1'-0"

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THESE PLANS HAVE BEEN PREPARED BY CHARLES S. BRIGHTWELL, P.E., REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF SOUTH CAROLINA. THESE PLANS ARE A PART OF A CONTRACT DOCUMENT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES.

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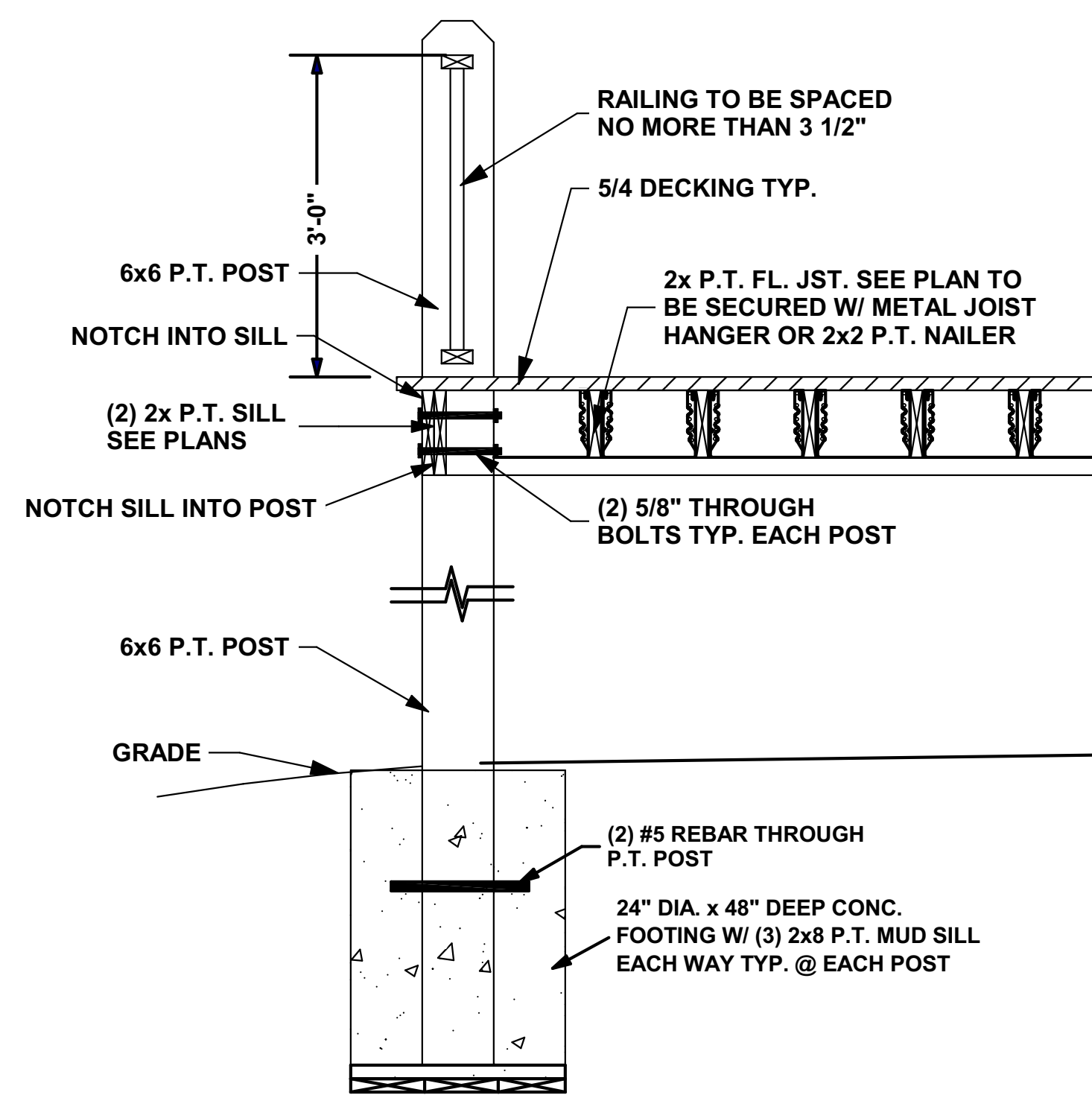
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SHEETS



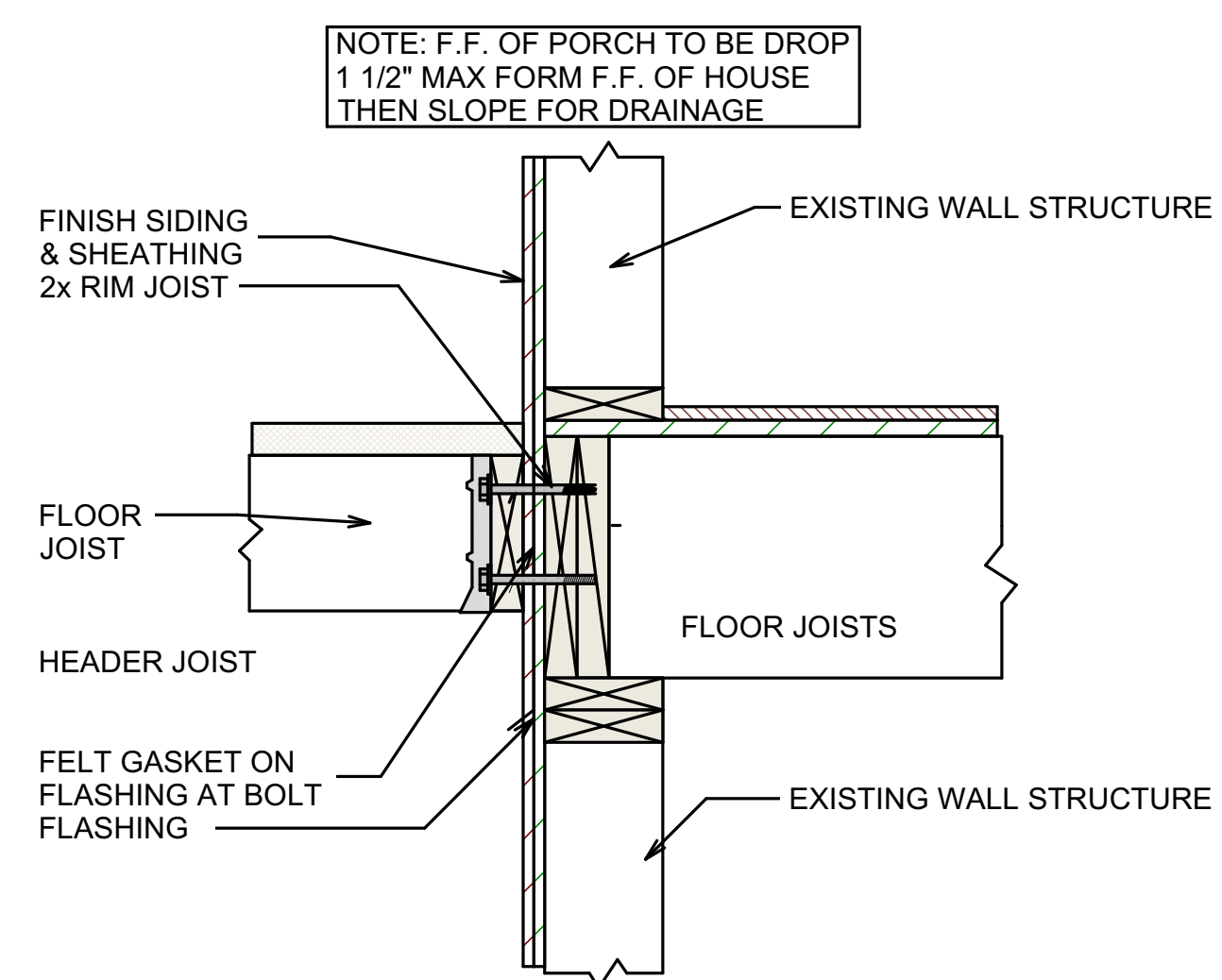
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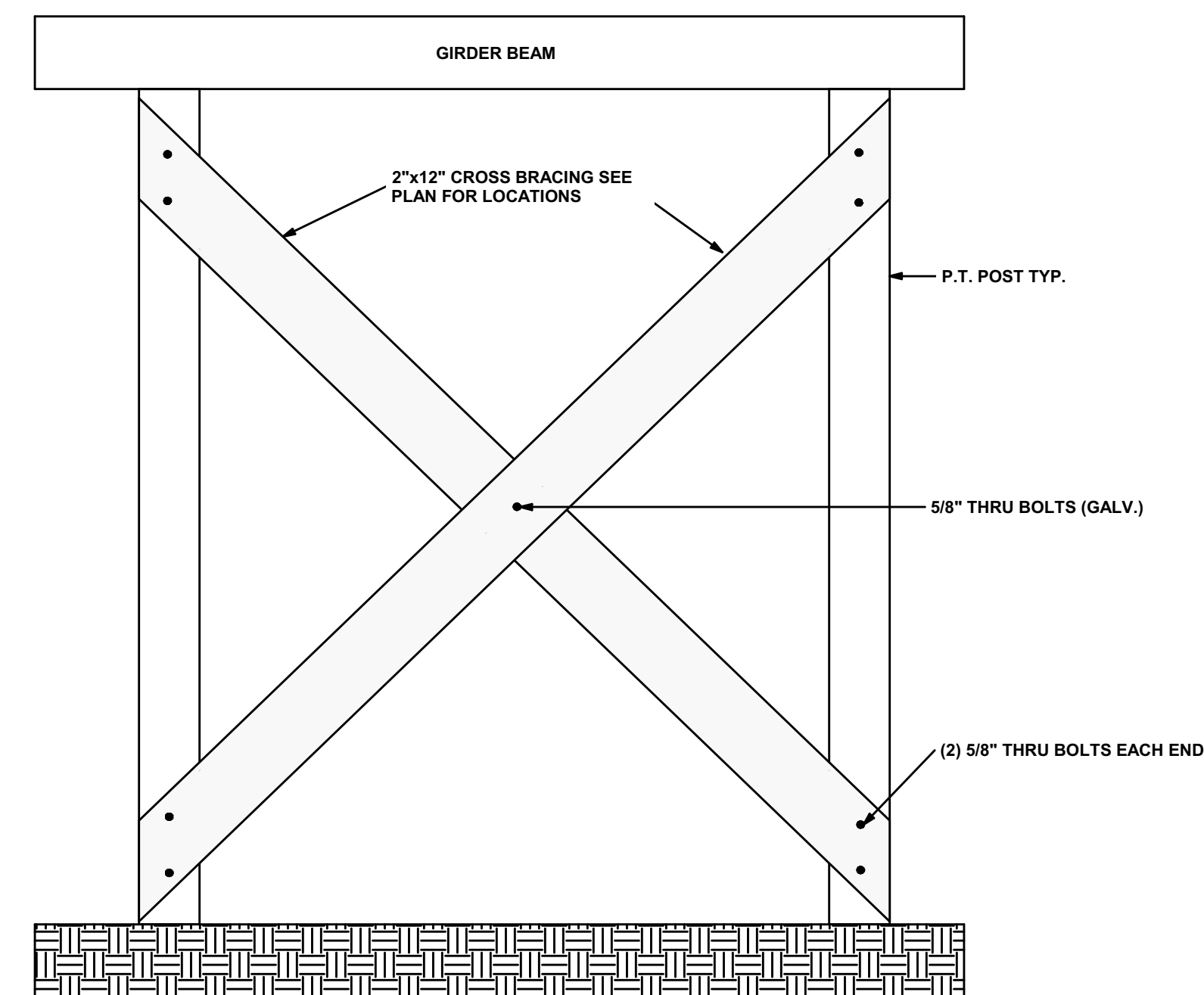


DECK DETAIL

N.T.S.



Porch Anchored to Existing Wood Wall

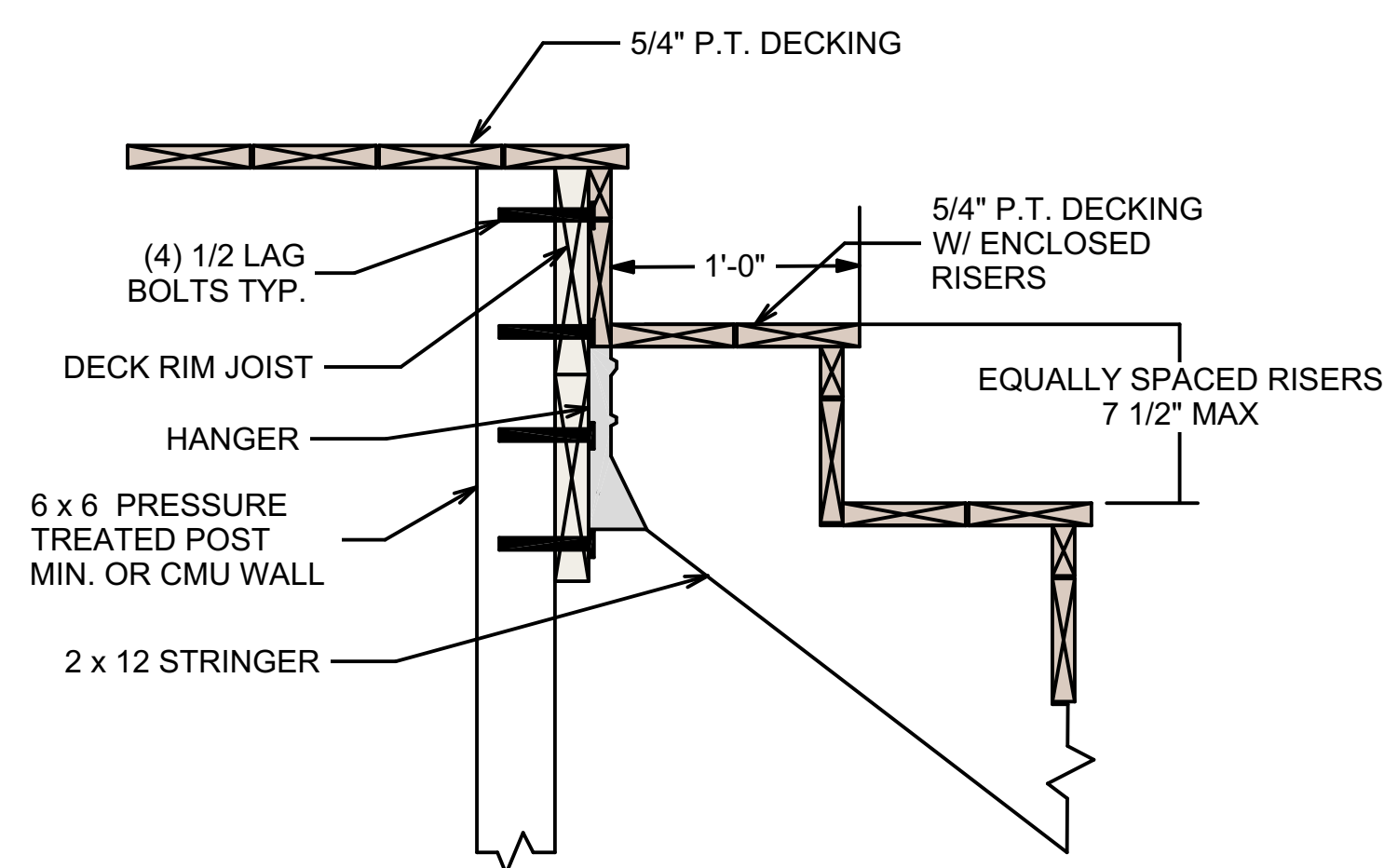


CROSS BRACING DETAIL

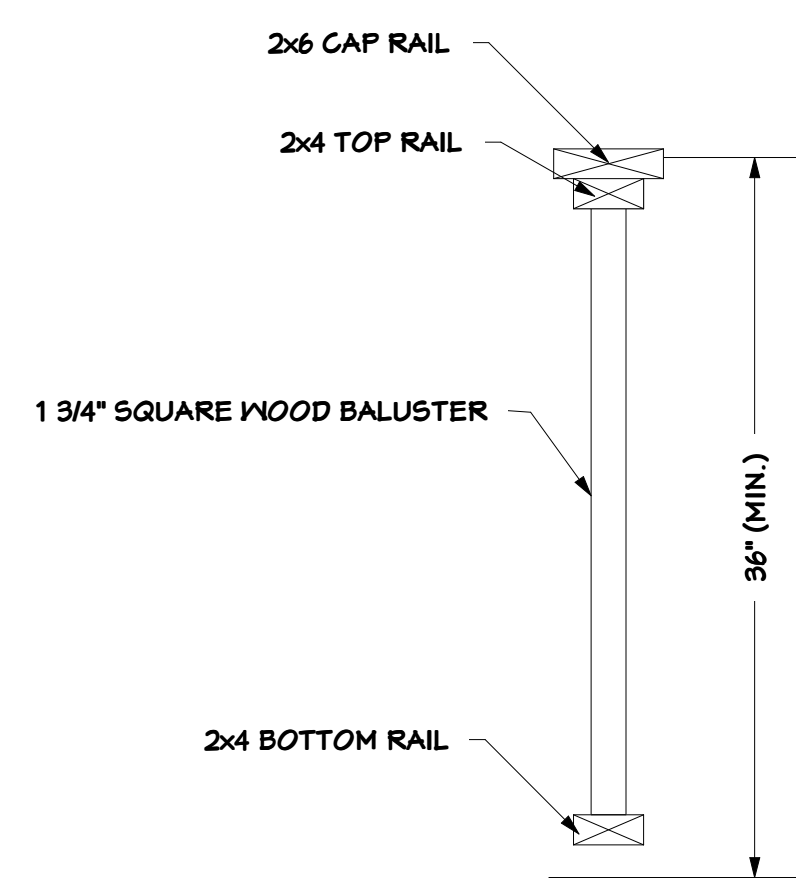
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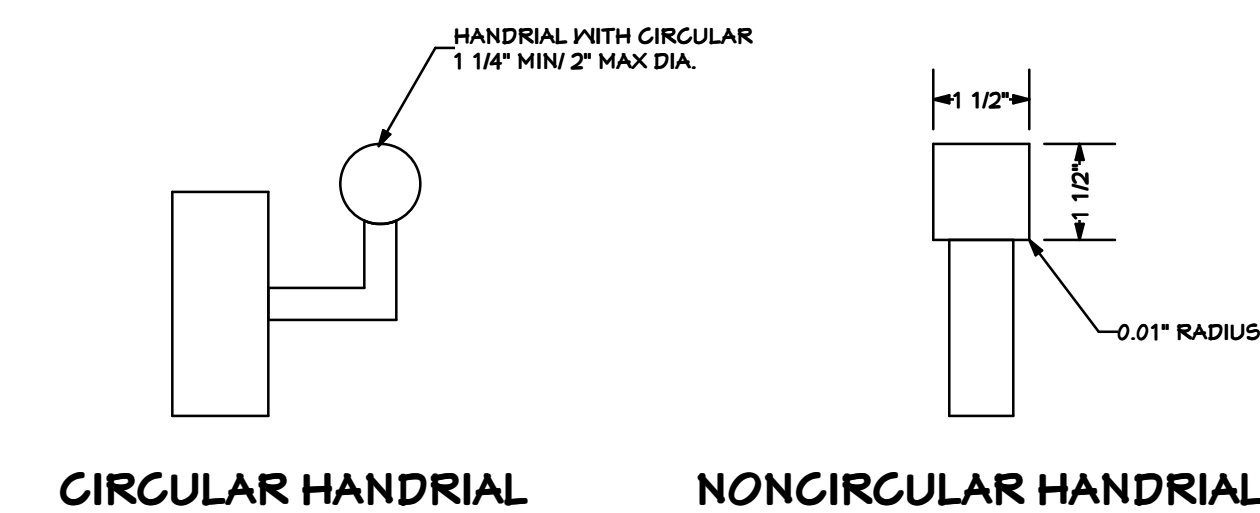
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EXTERIOR WOOD STAIR



EXTERIOR HANDRAIL DETAIL



GRASPABLE HANDRAIL DETAIL

COOK DESIGN STUDIO, INC. 113 East Washington Street • Charleston, SC 29403
 803-733-9833 • Fax: 803-733-9877
 www.cookdesignstudio.com

MEMBER
A I B D
 AMERICAN INSTITUTE of BUILDING DESIGN

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A3
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